

## **PERMIT REQUIREMENTS FOR IN-GROUND, ABOVE-GROUND POOLS AND BLOW-UP/TEMPORARY POOL KITS**

**ADDRESS** \_\_\_\_\_ **ZONE** \_\_\_\_\_

### **LOCATION:**

Swimming Pools shall be located in accordance with the attached excerpt of "Section 6.38 Swimming Pools" from the Town of Aurora's Zoning By-law #2213-78, as amended. **Exceptions:** **R2-58 zone** minimum setback from rear lot line is 11.0 metres; **R3-11 zone** minimum setback from rear lot line is 2.5 metres; **R6-22, R6-23 & R6-27 zones** in accordance with setbacks for the main building; **R6-24 zone** swimming pools not permitted.

### **ACCESSORY BUILDINGS (ie: sheds):**

Where an accessory building is greater than 10m<sup>2</sup> a separate building permit is required. A handout for "Accessory Buildings & Uses" is available at our office. Accessory buildings shall be sited in accordance with Section 6.2 of the Zoning By-law, unless otherwise stated in the Zoning By-law.

### **DECKS:**

Building permits are required for the construction of all decks. A handout for "Decks, Balconies, Open-sided Roofed Porches" is available at our office.

### **DRAWINGS REQUIRED WITH THE BUILDING PERMIT APPLICATION:**

Please use the attached checklist to ensure that all the necessary documentation and information listed in the checklist is provided.

### **PERMIT FEES AND SECURITY DEPOSIT APPLIES TO ALL POOL TYPES:**

|                                |   |
|--------------------------------|---|
| PERMIT FEE:                    | \$290.00 - including video                        |
| SECURITY DEPOSIT (REFUNDABLE): | \$25.00 per metre of lot frontage (max. \$750.00) |
| SEPTIC TANK AND TILE BED:      | \$265.00 if alteration required                   |

### **ADDITIONAL FEES AND DEPOSITS FOR ASSUMED PROPERTIES**

All assumed properties are subject to the following additional fees and deposits:

|                          |            |
|--------------------------|------------|
| GRADING SECURITY DEPOSIT | \$1,000.00 |
| LOT GRADING REVIEW       | \$270.00   |

### **FULL PAYMENT IS REQUIRED AT TIME OF APPLICATION BY EITHER CHEQUE, CASH OR DEBIT CARD**

The above fee and security deposit are required for both in-ground and above-ground pools.

The Security Deposit is taken to ensure that the pool fence enclosure is constructed in accordance with the Town of Aurora's By-law regulating lawful fences and in accordance with the approved drawings, and to ensure that no damage to Town property or services occur during the installation process.

Please find attached hereto the requirements outlined for the release of the security deposit.

### **INSPECTION:**

Please contact the Building Services inspection request line at (905) 726-4778 or email [building.inspection@aurora.ca](mailto:building.inspection@aurora.ca) to schedule your inspections.

### **DURING CONSTRUCTION OF THE POOL** **THE OWNER MUST PROVIDE A SAFE TEMPORARY FENCE AROUND THE POOL**

Town of Aurora  
 Building Services Department  
 100 John West Way, Box 1000  
 Aurora, ON L4G 6J1  
 (905) 727-3123 ext. 4390 or 4394

## POOL ENCLOSURE APPLICATION CHECKLIST

Please review the following checklist to ensure that the Survey/Site Plan is complete and that the information in the checklist is shown thereon.

### **Two (2) copies of the Survey/Site Plan are required with each permit application.**

Please ensure that the Building Permit Application has been filled out completely.

**Note: Missing information, drawings and/or non-compliance with zoning may delay the permit issuance process**

|                          |   |
|--------------------------|---|
| <input type="checkbox"/> | Name and Address of the Homeowner on each page  |
| <input type="checkbox"/> | Builder or Developer approval on Letterhead for new subdivisions where a Final Lot Grading Certificate has not been issued  |
| <input type="checkbox"/> | Pool dimensions   |
| <input type="checkbox"/> | Setback dimensions measured from the water's edge of the pool to all property lines   |
| <input type="checkbox"/> | Setback dimensions measured from the water's edge of the pool to the dwelling   |
| <input type="checkbox"/> | Setback dimensions measured from the water's edge of the pool to existing or proposed decks and/or accessory buildings  |
| <input type="checkbox"/> | Show location of the pool equipment. Unenclosed pool equipment shall be setback a minimum of 0.45 metres from property lines. Enclosed pool equipment shall be subject to the zoning regulations for Accessory Buildings and Uses.  |
| <input type="checkbox"/> | Where a deck and and/or accessory building (greater the 10m <sup>2</sup> ) has been constructed without a building permit, a building permit will be required complete with detailed drawings. Note: Zoning regulations for decks and accessory buildings differ from zoning regulations for pools. Accessory buildings (less than 10m <sup>2</sup> ) are still required to comply with the zoning regulations. |
| <input type="checkbox"/> | Please refer to the attached copy of Section 3.1.2 of the Town's Fence By-law (as amended) for regulations pertaining to slides, diving boards and similar uses   |
| <input type="checkbox"/> | Height and type of fence construction details and location (the attached fence specifications may be submitted with your application)   |
| <input type="checkbox"/> | Location of gates, specify on the drawings that the gates shall be self-closing and equipped with a self-latching device  |
| <input type="checkbox"/> | Where a building or structure forms part of a pool enclosure, all door entrances into the pool area shall be equipped with a dead bolt, chain latch or some other mechanism to secure the door, located at a minimum height of 1.5m (5ft.) above the inside floor level of the building.  |
| <input type="checkbox"/> | Scope and details of landscaping work. Note: Landscaping works not to encroach within 0.45m of property lines.  |
| <input type="checkbox"/> | Property drainage patterns with proposed pool   |
| <input type="checkbox"/> | Location and setback dimensions from the Septic tank and bed  |
| <input type="checkbox"/> | Location and dimension of easements   |
| <input type="checkbox"/> | Where a property has Tree Preservation Restrictions and/or other Covenants, a copy of the drawings will be forward by the Building Department to the Town's Parks Department for review. Note: Parks approval is required prior to the issuance of the permit.  |
| <input type="checkbox"/> | Where access to a property is required from a <b>TOWN PARK</b> , please contact Parks Supervisor Jim Tree at (905) 727-3123 ext. 3222, for approval, a copy of the "Park Access and Restoration Agreement" is attached. Note: Parks approval is required prior to the issuance of the permit.   |
| <input type="checkbox"/> | Where Access to a property is required from a <b>REGIONAL ROAD</b> , please contact the Region of York Transportation Department, telephone number (905) 895-1200 – Darlene Robertson-Boosma ext. 5207, for approval. Note: Written confirmation of the approval is required prior to the issuance of the permit.   |

Excerpt from the Fence By-law (as amended), Section 3.1.8: "Every pool while under construction shall be enclosed with a temporary enclosure until such time as construction is complete and a pool enclosure has been erected in compliance with the provisions of this By-law."

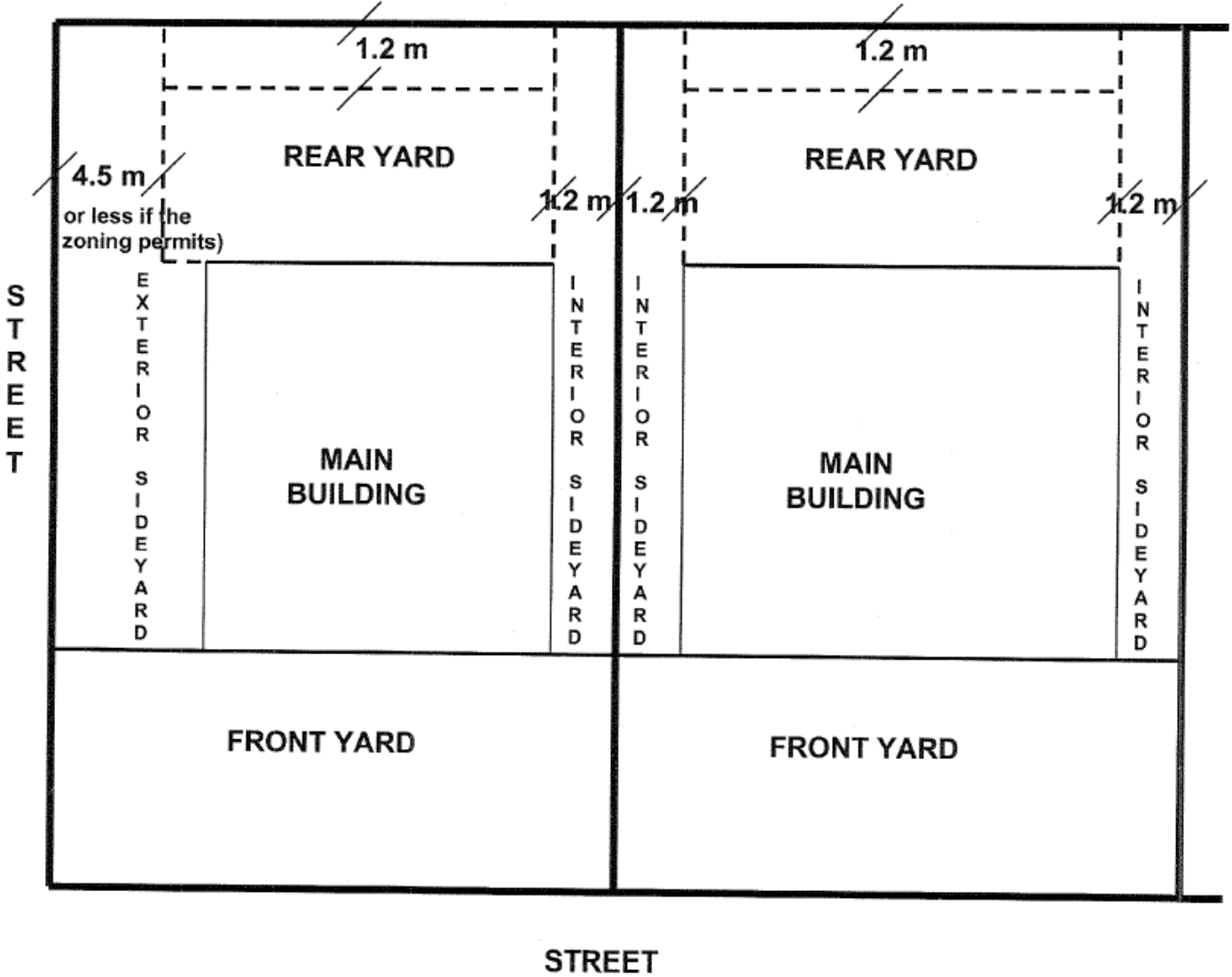
Note: A temporary fence is not permitted once the pool contains more than 750mm of water.

#### **Inspections:**

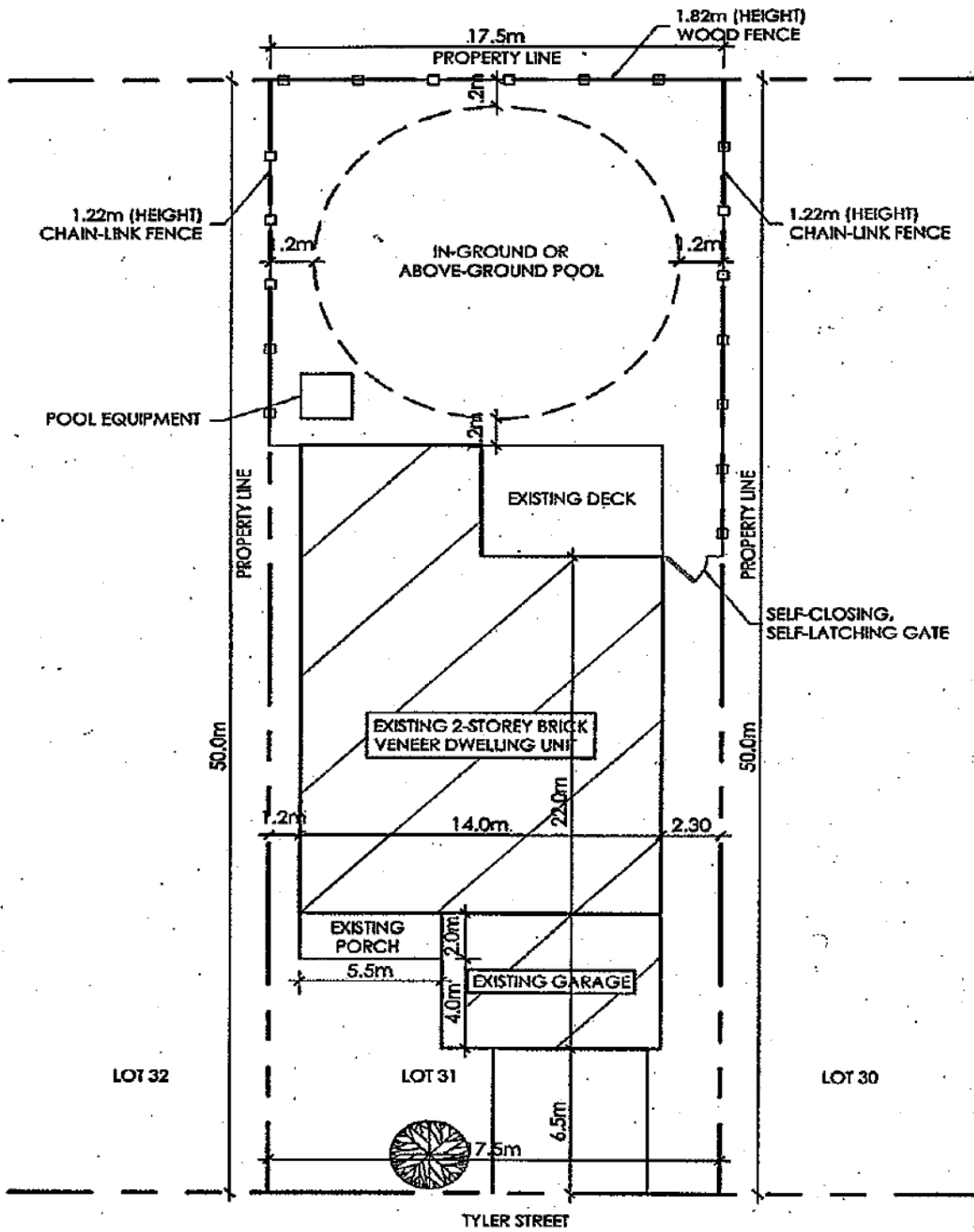
|                          |  |
|--------------------------|--|
| <input type="checkbox"/> | Please call for the final inspection after the pool and enclosure have been completed. |
|--------------------------|--|


# ILLUSTRATION OF YARDS

## **SWIMMING POOL SETBACKS IN RESIDENTIAL ZONES ONLY** (DOES NOT INCLUDE ESTATE RESIDENTIAL, RURAL RESIDENTIAL OR RURAL GENERAL ZONES)



# Example of Site Plan



 **SITE PLAN - LOT 31, PLAN# 65M-2223**  
SCALE: 1:200 EXAMPLE ONLY

**TOWN OF AURORA  
BUILDING SERVICES DEPARTMENT**

**REQUIREMENTS FOR RELEASE OF POOL PERMIT SECURITIES:**

1. The curb and sidewalk are free from damage.
2. All damaged sod on the boulevard (Town property) has been removed and replaced to the satisfaction of the Town of Aurora Public Works Department (i.e. free of tire tracks or ruts, any dead sod replaced).
3. The actual pool construction has conformed to the approved drawings.
4. The pre-existing drainage pattern of the property has been maintained.
5. The drainage pattern of the adjacent lots has not been affected.

---

---

**MINIMUM CLEARANCE FROM SEPTIC SYSTEMS  
FOR  
STRUCTURES, DECKS, SWIMMING POOLS**

|   |            |
|---|------------|
| Minimum Clearance setback from Treatment Units:     | 1.5 metres |
| Minimum Clearance setback from Holding Tanks:       | 1.5 metres |
| Minimum Clearance setback from Distribution Piping: | 5.0 metres |

**6.38 Swimming Pools**

(4445-03.D)

Except as otherwise stated in this By-law, pools shall be permitted in all residential and rural zones and shall be located in accordance with the following:

- 1) Pools shall be located in the rear and side yards only.
- 2) Retaining walls, concrete walkways and/or raised grades around in-ground pools shall be setback a minimum of 0.45 metres from abutting lot lines and/or common lot lines between attached dwelling units.

**6.38.1 Estate Residential, Rural Residential, and Rural General Zones:**

Pools shall be located in accordance with the setback requirements for the main building with the exception of the rear yard, which shall be a minimum of 4.5 metres.

**6.38.2 Other Residential Zones (excluding Apartment Residential Zones):**

- 1) Pools shall be located in accordance with the following setbacks:
  - a) 1.2 metres from the rear and interior side lot lines;
  - b) 1.2 metres from the common lot line between attached dwelling units;
  - c) Exterior side lot line: the lesser of 4.5 metres or the minimum setback for the main building.
- 2) Where an above-ground pool has a perimeter deck that forms part of the pool structure, the perimeter deck shall be located in accordance with the following:
  - a) In accordance with the setback requirements for the main building, with the exception that the minimum rear yard setback shall be 1.2 metres.
  - b) Where the zoning provision for the main building permits an interior side yard setback of less than 1.2 metres a privacy screen with a minimum height of 1.5 metres and maximum height of 2.0 metres shall be required along the full extent of the perimeter deck abutting that lot line.
  - c) Notwithstanding any other provisions, the perimeter deck shall be setback a minimum of 0.6 metres from any common lot line.

**6.38.3 Minimum Distance Separation from Waters Edge for In-ground and Above-ground Pools:**

- 1) In the case of an in-ground pool, no pool enclosure shall be closer than 1.2 metres of the nearest edge of the water contained in the pool.
- 2) A minimum distance separation of 1.2 metres from the nearest edge of the water contained in the pool shall be maintained from all buildings and/or structures.

**6.38.4 Exceptions:**

In the case of the Detached Dwelling Second Density Residential (R2-58) Exception Zone, the minimum rear setback of a pool from the rear lot line shall be 11.0 metres.

**Fence By-law 4753-05.P****Part 3 – Pool Enclosures and Temporary Enclosures:**

- 3.1.2. Amenity uses such as but not limited to pool equipment, diving boards, slides or similar uses shall only be permitted in the interior side yard, exterior side yard or rear yard and in accordance with the following provisions:
- a) Unenclosed pool equipment shall be setback a minimum of 0.45 metres.
  - b) Slides, diving boards or similar uses shall be setback a minimum of 0.6 metres. Except in the case of Rural Residential, Estate Residential and Rural General Zones, the setbacks shall be in accordance with the provisions of the Zoning By-law.
- 3.1.3. Where an amenity use is located within an accessory building or structure it shall be setback in accordance with the provisions of the Zoning By-law.
- 3.1.4. Notwithstanding the provisions of this By-law, a pool that is a hot tub or whirlpool and that has a cover that may be locked and that will support a weight of at least 27.2kg (60 pounds), is not required to be enclosed by a pool enclosure or temporary enclosure.
- 3.1.5. The owner of a pool that is a hot tub or whirlpool shall ensure that the cover for such pool remains securely closed and locked at all times when such pool is not in use by the owner, its invitees or licensees.
- 3.1.6. No person shall excavate for, or cause or permit excavation for any privately owned pool, or erect, or cause or permit the erection of any privately owned pool without first obtaining a permit issued by the Chief Building Official. The plans submitted with the permit application shall:
- a) show the location of the pool in relation to the property lines and to adjacent structures; and
  - b) provide complete details of the pool enclosure.
- 3.1.7. No person shall place or allow water to remain in a newly constructed pool, until:
- a) The Chief Building Official or their designate has been notified and the pool enclosure has been inspected and accepted; and
  - b) The provisions of this By-law and applicable law have been fully complied with.
- 3.1.8. Every pool while under construction shall be enclosed with a temporary enclosure until such time as construction is completed and a pool enclosure has been erected in compliance with the provisions of this By-law.
- 3.1.9. Notwithstanding any other provisions of this By-law, a temporary enclosure may have a height of not less than 1.2m (4 ft.) and may be constructed of plastic mesh having openings no greater than 38mm (1-1/2 in.). A steel T-bar post shall be installed at intervals no less than every 2.0m (6.56 ft.) and a 9 gauge galvanized steel wire shall be located at the top and bottom of such fencing. Notwithstanding this provision, a temporary enclosure may be constructed in a manner that in the opinion of the Chief Building Official will provide a satisfactory degree of safety. All temporary enclosures shall be erected in a workmanlike manner.
- 3.1.10. A temporary enclosure shall be replaced by a pool enclosure upon completion of the pool or immediately upon the direction the Chief Building Official.

## **Section 3.2 Access**

- 3.2.1 The owner of every pool shall ensure that every door, gate or means of entry to the pool and the area enclosed by the pool enclosure is kept latched and locked, except when the pool or such enclosed area is in use by the owner, its invitees or licensees.
- 3.2.2 Where a main building forms part of the pool enclosure, the main entry into the building shall not be located inside the pool enclosure.
- 3.2.3 Where a building or structure forms part of a pool enclosure, all door entrances into the pool area shall be equipped with a dead bolt, chain latch or some other mechanism to secure the door, located at a minimum height of 1.5m (5ft.) above the inside floor level of the building.
- 3.2.4 Where a building or structure forms part of a pool enclosure, no window or other opening shall open into the area enclosed by the pool enclosure unless such window or opening is capable of being securely closed and latched.
- 3.2.5 Every gate in a pool enclosure shall be self closing and shall be equipped with a lockable self-latching device located on the top interior side of the pool enclosure. Such gates shall not have any member or attachment that would facilitate the climbing of the gate and shall be supported on substantial hinges. The minimum height of any gate or entry shall be 1.2m (4ft.).

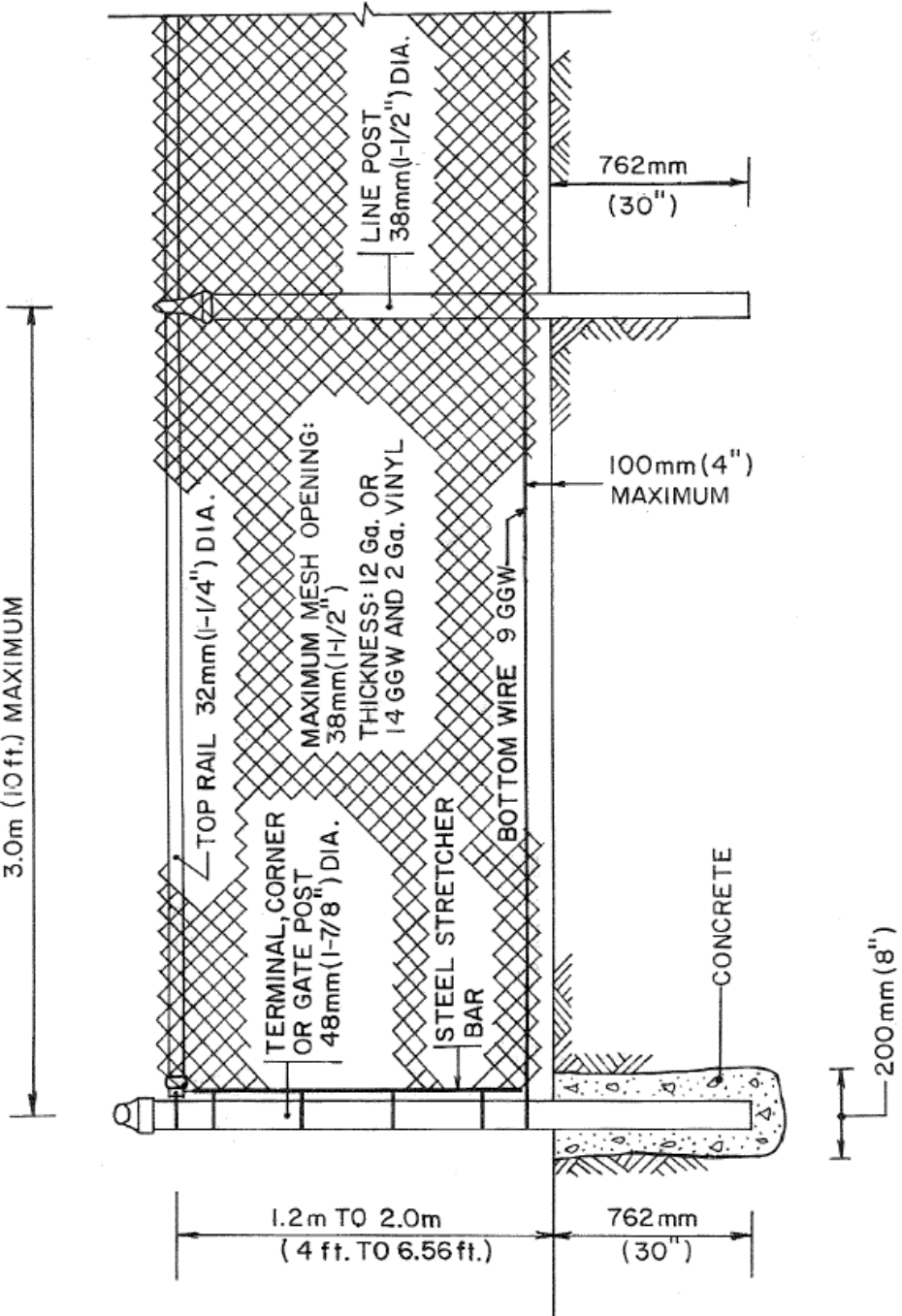
## **Section 3.3 Construction**

- 3.3.1 No owner shall construct any fence to a height in excess of 2.0 metres (6.56 ft.), without first obtaining a building permit from the Town of Aurora.
- 3.3.2 No pool enclosure shall be located within 1.2m (4 ft.) of the nearest edge of the water contained in the pool.
- 3.3.3 Pool enclosures shall be constructed as follows:
- a) A chain link fence shall conform to the Town of Aurora standards for fencing as may be amended from time to time.
  - b) A wooden fence shall conform to the following:
    - (i) vertical boards shall be spaced not more than 38mm (1 1/2 in.) apart where rails are spaced closer than 1.1m (3 ft. 8in.) and not more than 100mm (4 in) where rails are spaced at least 1.1m (3ft. 8in) apart.
    - (ii) vertical boards shall be of not less than 19mm x 89mm (1" x 4" nominal) lumber and shall be attached to rails that are not less than 38mm x 89mm (2" x 4" nominal) in size. The rails shall be supported on substantial posts with a minimum dimension of 89mm x 89mm (4" x 4" nominal) spaced not more than 2.4m (8ft) apart and imbedded to a minimum depth of 900mm (36 in.) below grade; or
  - c) Notwithstanding the provisions of this subsection, a pool enclosure may be of other designs, materials and construction, which in the opinion of the Chief Building Official, provide a degree of structural soundness sufficient to restrict entry into the pool without the permission of the owner.
- 3.3.4 Where a pool enclosure or temporary enclosure is a building, accessory building or structure, it shall be constructed of materials that will withstand weathering and will remain in place when reasonable loads are applied.
- 3.3.5 No pool enclosure or temporary enclosure shall have any unprotected openings that would permit the passage of a sphere larger than 100mm (4 in.) in diameter within or below the enclosure.
- 3.3.6 No pool enclosure or temporary enclosure shall have any members or attachments that could facilitate climbing on the exterior face of a pool enclosure or temporary enclosure for a distance between 100mm (4 in.) and 1.2m (4 ft.) from the grade.
- 3.3.7 No condition that facilitates climbing a pool enclosure or temporary enclosure may be permitted to remain within 1.0m (3.3 ft.) of the exterior of the pool enclosure or temporary enclosure.



**3.3.8 Where an above-ground pool is a pool enclosure:**

- a) The exterior side of the above-ground pool structure and any rail or guard attached thereto shall constitute a pool enclosure and the provisions of this By-law shall apply to such pool sides. The owner of an above-ground pool shall ensure that the means of entry within the pool enclosure shall be kept closed and locked except when the pool or enclosed area is in use by the owner, it's invitees or licensees. Where such means of entry is a ladder, the ladder shall be removable from the vicinity of the pool or be designed to be lifted and locked or be designed to have a lockable cover when the pool is not in use.
- b) The exterior sides of the above-ground pool structure and the outside face of any rail or guard shall be constructed as a pool enclosure, in a manner that will not facilitate climbing.
- c) Where a platform or deck is constructed adjacent to an above-ground pool and such platform or deck is higher than 0.6m (2 ft.) above the adjacent grade, a rail or guard of not less than 0.9m (2.9 ft.) in height shall be provided around the outside perimeter of such deck. Notwithstanding the provisions of this By-law such a rail or guard may be constructed within 1.2m (4 ft.) of the nearest edge of the water contained in the above-ground pool.
- d) Notwithstanding any other provisions of this By-law, the combined height of the exterior sides of the pool structure and any rail or guard attached thereto shall be a minimum of 1.5m (5 ft.) and may be a maximum of 2.5m (8.2 ft.) in height above the adjacent grade.
- e) The pool, platform and/or deck shall be setback from the lot lines in accordance with the provisions of the Zoning By-law.



ALL DIMENSIONS ARE EXPRESSED IN mm UNLESS OTHERWISE NOTED.

# TOWN OF AURORA

APPROVED:  
*[Signature]*

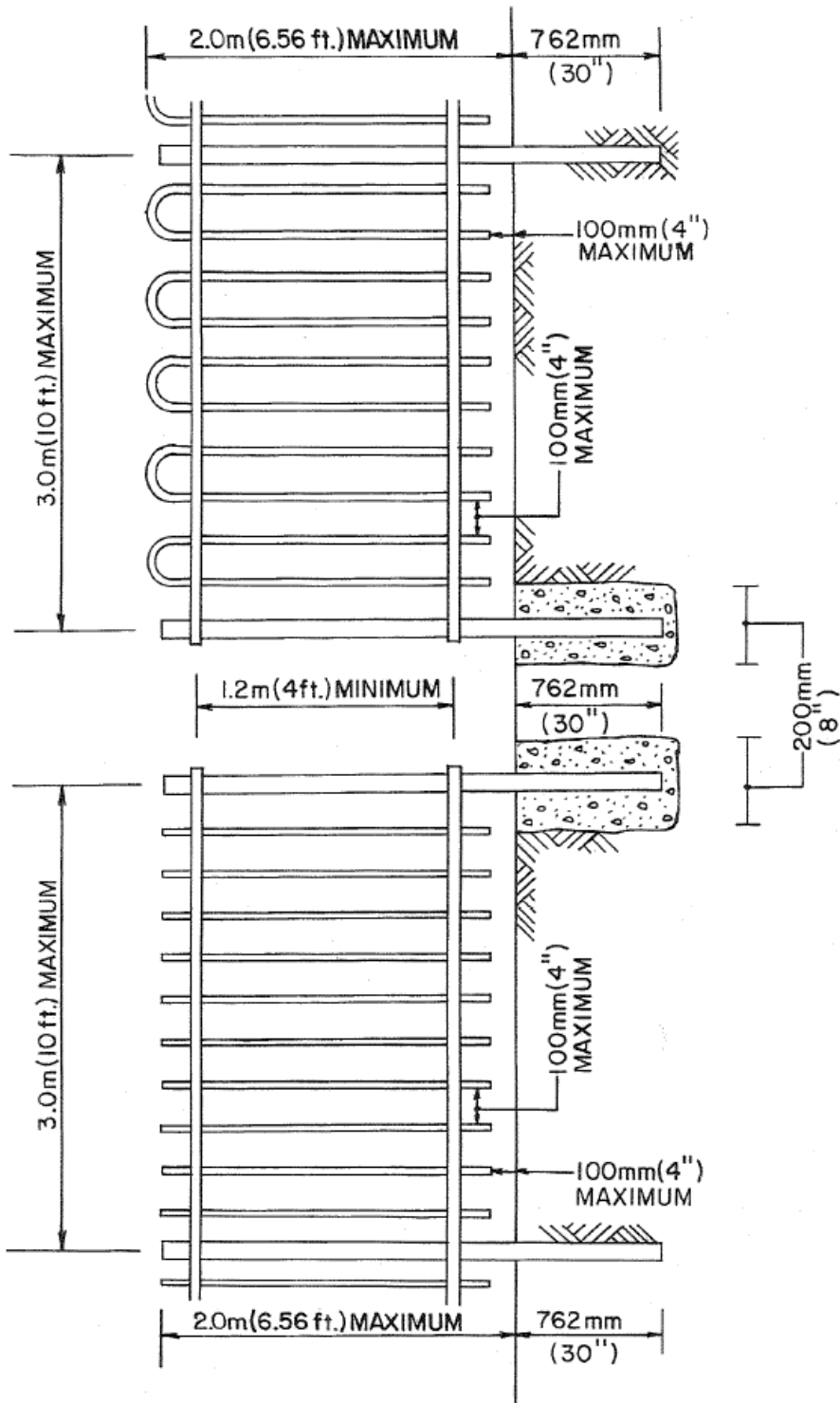
SCALE:  
N.T.S.



## SINGLE RESIDENTIAL PROPERTY CHAIN LINK FENCE DETAIL

REVISION:  
DATE: 02/93

DRAWING NO.:  
S.P.-1



- NOTES**
1. TERMINAL, CORNER OR GATE POSTS TO BE PLACED IN CONCRETE.
  2. VERTICAL BARS TO BE MINIMUM 12.5mm ( 1/2") SQUARE OR ROUND, WELDED TO TOP AND BOTTOM RAILS OR FASTENED BY AN EQUALLY SECURE METHOD.

ALL DIMENSIONS ARE EXPRESSED IN mm UNLESS OTHERWISE NOTED.

# TOWN OF AURORA

APPROVED:  
*Leo J. Sullivan*

SCALE:  
N.T.S.

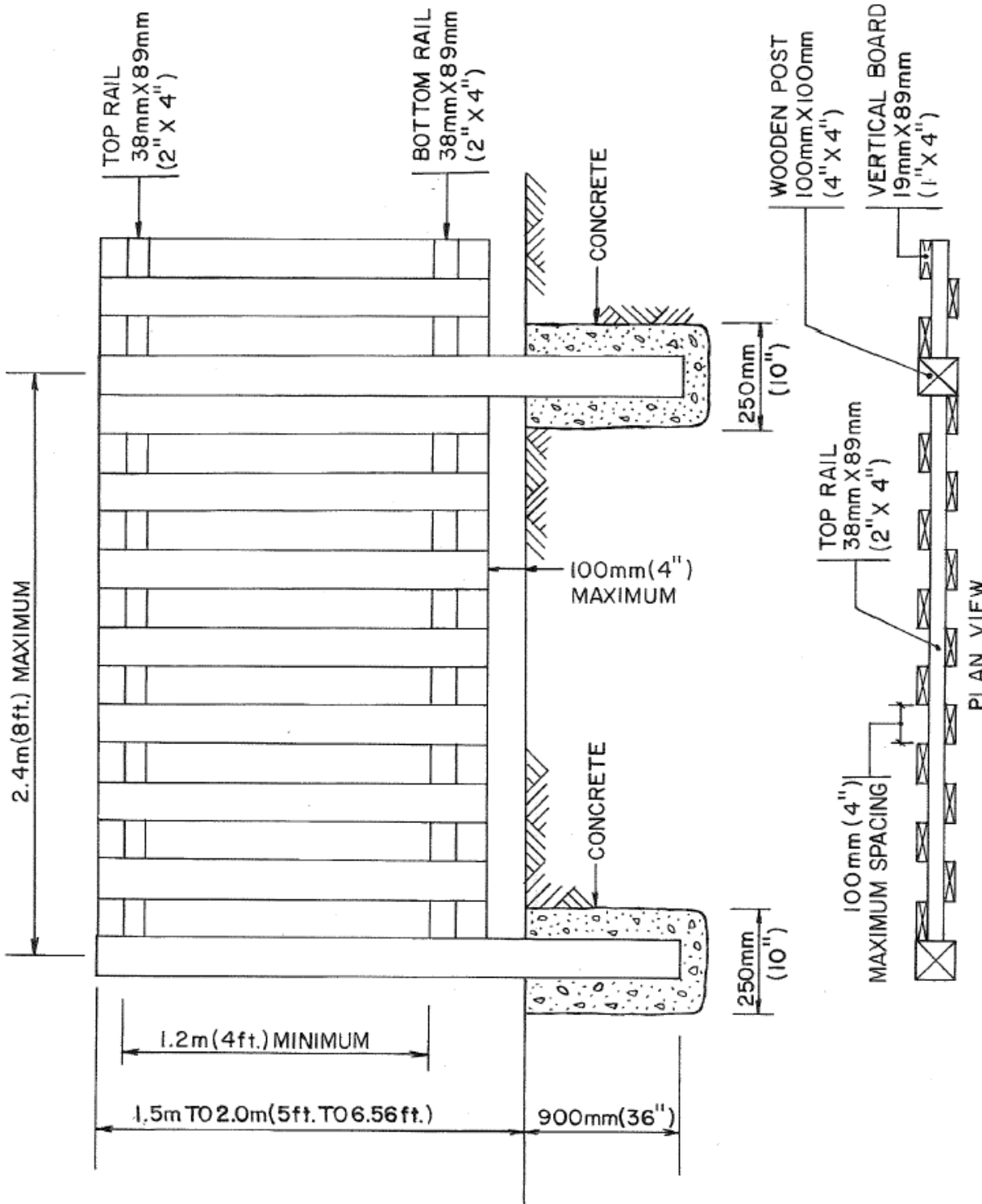
REVISION:

DATE: 02/93

DRAWING NO.:  
S.P.-2



## IRON FENCE DETAIL



**NOTES:**

1. ALL LUMBER DIMENSIONS SHOWN ARE THE MINIMUM ALLOWABLE. LARGER SIZED LUMBER MAY BE USED IF DESIRED.

ALL DIMENSIONS ARE EXPRESSED IN mm UNLESS OTHERWISE NOTED.

**TOWN OF AURORA**

APPROVED:

*Leo J. Sullivan*

SCALE:

N.T.S.

REVISION:

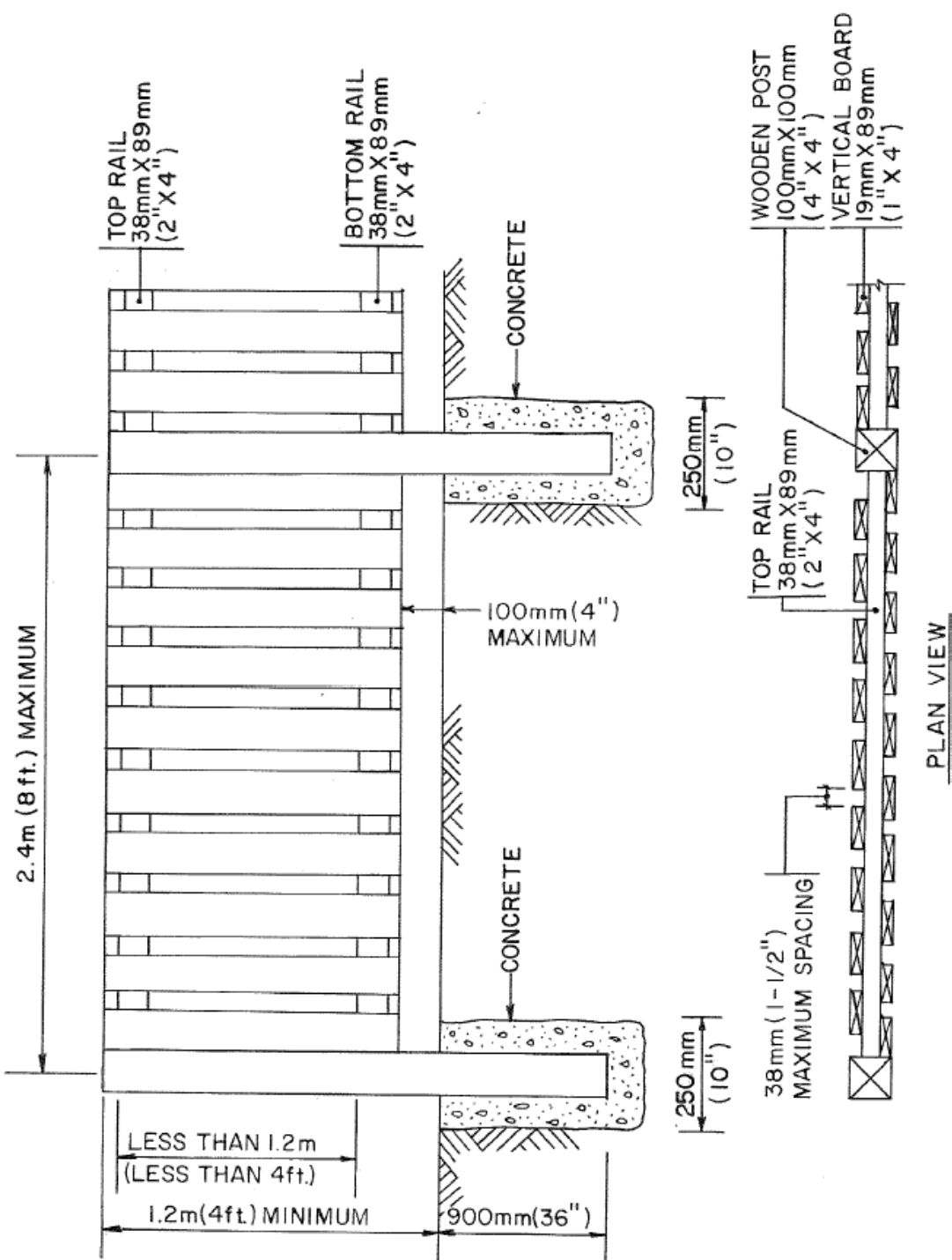
DATE: 03/95

DRAWING NO.:

S.P.-3



1.5m TO 2.0m(5ft. TO 6.56ft.) HEIGHT  
WOOD(VERTICAL BOARD) FENCE



NOTES  
 1. ALL LUMBER DIMENSIONS SHOWN ARE THE MINIMUM ALLOWABLE. LARGER SIZED LUMBER MAY BE USED IF DESIRED.

ALL DIMENSIONS ARE EXPRESSED IN mm UNLESS OTHERWISE NOTED.

# TOWN OF AURORA

APPROVED:  
*Leif White*

SCALE:  
 N.T.S.

REVISION:  
 DATE: 03/95

DRAWING NO.:  
**S.P.- 4**



**1.2m (4ft.) HEIGHT  
 WOODEN (VERTICAL BOARD) FENCE  
 MAXIMUM BOARD SPACING 1 1/2"**